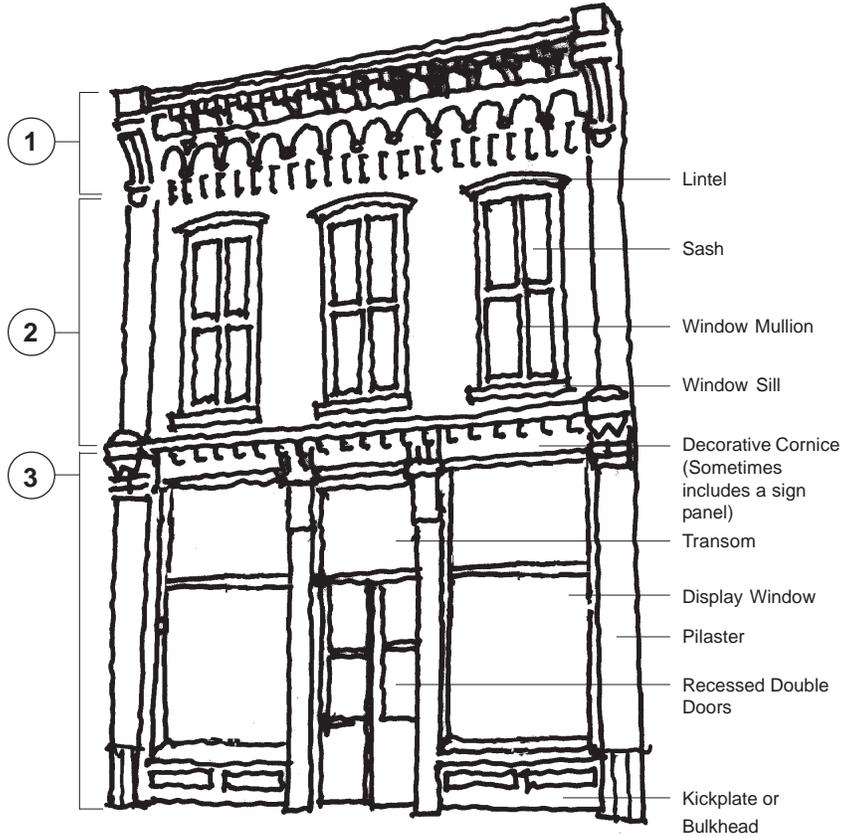


H1: FACADE COMPONENTS

A. General Facade Components

The following graphic is provided as a general guide to the typical components of a Downtown Pendleton facade. Not all components shown here appear on every building in downtown Pendleton. However, this graphic can be used as a starting point for formulating concepts for new facades.



1. **Cornice:** The cornice provides a “visual termination” to the building. Cornice materials might be sculpted wood, brick, stone, pressed metal or terra-cotta.
2. **Upper Facade:** The upper facade typically has several identical windows arranged in even horizontal rows. Windows still make up the majority of the facade.
3. **Storefront:** The storefront is typically 80-90% transparent. Structural beam spans the opening supporting the upper facade. This is sometimes exposed, and sometimes hidden with the decorative cornice.

Intent

Many different architectural elements are combined to create the typical building facade in Downtown Pendleton. This section of the guidelines is intended to familiarize users with those elements so that they can be appropriately incorporated on new facades.

H1: FACADE COMPONENTS (CONTINUED)

B. Pendleton Facade Components

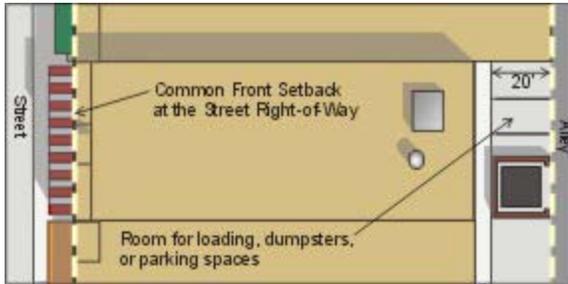
The picture below is an example of a storefront facade in Downtown Pendleton. Many of the components identified in Section A are present on this facade and have been identified for reference purposes.



H2: BUILDING ORIENTATION

A. Building Setback

1. **Setback Requirements:** All buildings should meet the following setback requirements:
 - a. **Front Yard:** All buildings should be constructed adjacent to the sidewalk along the street frontage to maintain the street wall.
 - b. **Side Yard:** No side yard setback should be provided for buildings.
 - c. **Rear Yard:** A rear yard setback should not be required. If provided, it should be large enough to allow ample room for loading areas, dumpsters, and parking spaces



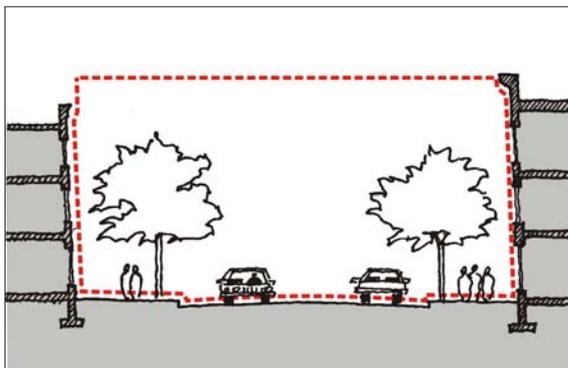
A typical downtown building site layout: note the front of the building at the edge of the sidewalk. Also, room is left behind the structure for a dumpster, as well as parking spaces accessed from the alley.

2. **Street Wall:** The design of buildings should reinforce the street wall by maintaining a common setback with adjacent buildings.



The illustration at left shows the street wall created by the common setback of adjacent buildings. This concept is important in maintaining a consistent pedestrian experience in the downtown, as well as providing a unified look for the community.

3. **Outdoor Room:** Building heights and setbacks should be used to create an outdoor room that frames the street corridor.



The area outlined at left is the "outdoor room" formed by the buildings along the street corridor. This is a defining element of a downtown area. Maintaining this corridor provides an urban environment that is comfortable, interesting, and pedestrian oriented.

Intent

Historically, buildings in downtown Pendleton have been constructed with similar lot setbacks, and are similar in mass and scale. It is the intent of this section that new development or changes to existing structures in the Downtown respect this traditional pattern. These guidelines are designed to maintain the visual compatibility of new structures within the historic Downtown.

Note:

It may be appropriate for public and cultural buildings to vary from the recommended downtown building setback in order to incorporate public plazas and other public gathering spaces.

H2: BUILDING ORIENTATION (CONTINUED)

B. Building Orientation

1. **Corner Treatment:** The front of each building should be oriented to face the street. Buildings on corner lots should address both street frontages with their facade design.



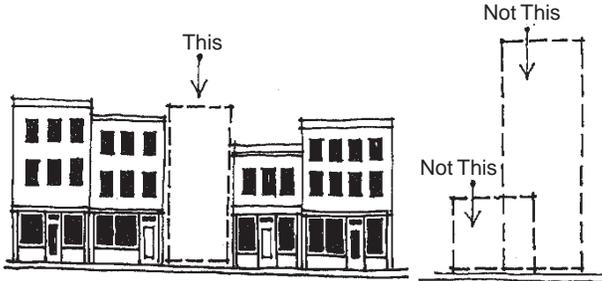
The building in this photo is located on a corner. As a result, the facade design addresses both street frontages with pedestrian scaled entry and display features. The upper story design also emphasizes the corner location.

2. **Service Areas:** All collection bins, loading docks or other service areas should be located to the rear of buildings and accessed from the alley.

H3: ARCHITECTURE

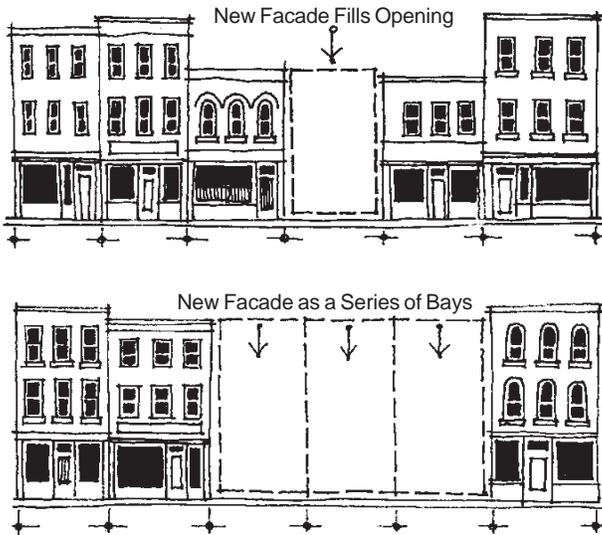
A. Height

Infill construction should respect the traditional height of buildings in the downtown commercial area.



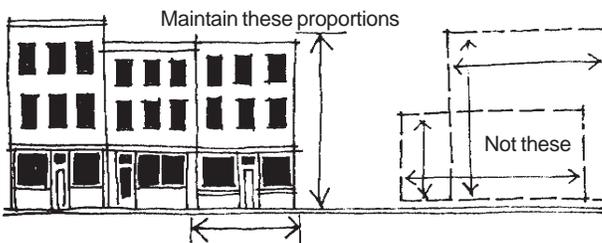
B. Width

Building width should reflect the existing rhythm of the facades along the street. If the site is large, the mass of the facade should be divided into a number of bays.



C. Proportion

The traditional relationship between width and height of existing facades should be respected.



Intent

Buildings in Downtown Pendleton have been constructed with common architectural patterns and features. It is important that new construction replicate these general patterns in order to maintain the established image of the area. New buildings should be designed with an eye toward the history and heritage of Pendleton.

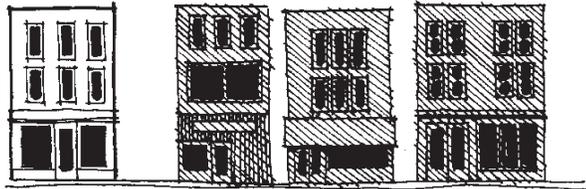
H3: ARCHITECTURE (CONTINUED)

D. Composition

The arrangement of the elements of a building facade should be similar to that of the surrounding facades.



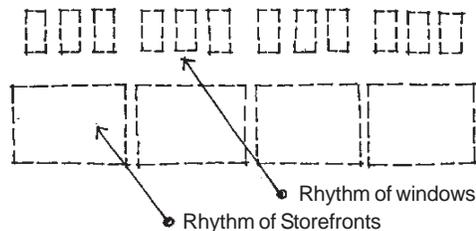
Existing facades are similar in arrangement



This Not These

E. Rhythm

Rhythms that carry throughout the block (such as window spacing) should be incorporated into the new facade.



F. Proportion of Openings

The size and proportion of window and door openings should be similar to those on surrounding facades. The same applies to the ratio of window area to solid wall for the facade as a whole.



Graphics: National Main Street Center, National Trust for Historic Preservation

H4: BUILDING MATERIALS

A. General Standards

1. **Recommended Materials:** The following materials are recommended for use on buildings:
 - a. Clay Brick
 - b. Limestone
 - c. Granite
 - d. Clear Glass
 - e. Stucco
 - f. Terra Cotta

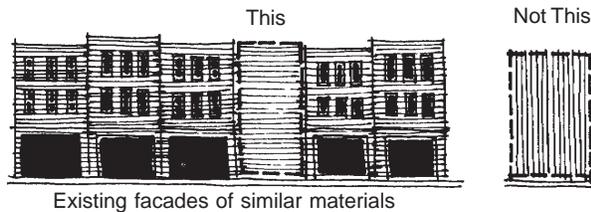


Views through clear glass into and out of retail establishments create excitement and make sidewalks feel safer. This is why mirrored and shaded glass is discouraged.

Intent

Facade materials have a significant impact on how a building relates to the Downtown context. This section of the guidelines is intended to provide guidance on appropriate materials selection for buildings in Downtown Pendleton. They are meant to emphasize compatibility with existing buildings while still allowing new construction to make a unique and creative design statement.

2. **Discouraged Materials:** The following materials are discouraged for use on buildings:
 - a. Vinyl siding
 - b. Aluminum siding
 - c. Wood siding
 - d. Cedar shake siding
 - e. Plexiglass
 - f. Exterior insulation finishing systems (EIFS)
 - g. Thin set brick and/or stone veneers
 - h. Mirrored or shaded glass
3. **Compatibility:** The recommended materials should be used in a manner that provides a design that is compatible with the context of existing buildings in Downtown Pendleton.

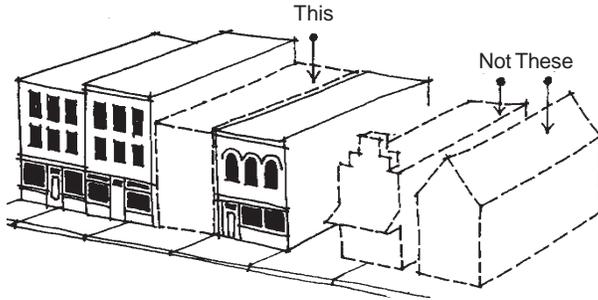




H5: DESIGN DETAILS

A. Roofs

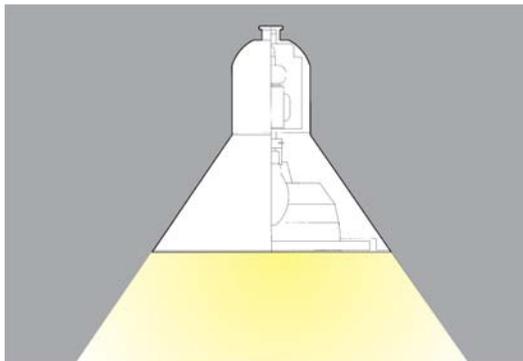
- 1. Recommended Roof Form:** Buildings in downtown Pendleton should use flat roofs with parapets. Flat roofs are defined as those having less than a 3:12 pitch.



- 2. Discouraged Roof Forms:** The following types of roofs should be avoided on buildings:
 - Sloped roof shapes
 - Gable-end roofs
 - Single pitch (shed) roofs
 - False mansard roofs
 - Curving roofs
- 3. Cornices:** A cornice should be used at the top of buildings to provide a visual terminus and complement the Downtown architectural character.
- 4. Mechanical Equipment:** Mechanical equipment, such as roof vents, new metal chimneys, solar panels, television antennae/satellite dishes, or air conditioning units, should not be placed where they could be seen from the street or affect the character of the building.

B. Lighting

- 1. Shielding:** Building lighting should be appropriately directed and shielded to avoid glare on adjacent residential areas.
- 2. Fixtures:** Lighting fixtures should be integrated into the overall design of the building facade, and should fit in with the overall character of downtown Pendleton.



Buildings should make use of “cut-off” fixtures such as the one pictured at left. These fixtures can reduce or eliminate glare and spillage onto adjacent areas. Rather, they direct light to a specific location.

Intent

This section is intended to provide an overview of additional design details that should be considered for Downtown buildings. In particular, roof and lighting designs need to be carefully considered as elements of the facade. Roof lines with unique cornices can provide an attractive visual feature for buildings. Lighting needs to emphasize building features without becoming intrusive to adjacent districts.

Note:

It may be appropriate for public and cultural buildings to vary from the recommended downtown lighting standards in order to adequately highlight important public facilities. Specifically, this is intended to allow the facades of such buildings to be washed with light, rather than a focused spotlight effect.

H5: DESIGN DETAILS (CONTINUED)

3. **Placement:** Fixtures should be placed on facades such that they do not cover up or interfere with architectural or historic features.
4. **Types:** Exterior lighting of downtown buildings should make use of metal halide lamps to produce the best representation of colors and details.

Metal Halide



Mercury Vapor



High Pressure Sodium



As illustrated in these photos, Metal Halide lighting provides the most accurate representation of the true colors of materials. It is also much easier to see details in this type of light.

C. Awnings & Canopies

1. **Color:** Awning and canopy colors should complement the colors on the building and storefront.
2. **Proportion:** The size and proportion of awnings should reflect the openings and proportions on the building facade, and should not be intrusive to the streetscape.
3. **Recommended Materials:** Awnings should be constructed of canvas over a metal frame, although similar materials may be substituted.
4. **Discouraged Materials:** The following materials should not be used for awnings:
 - a. Aluminum
 - b. Fixed Metal
 - c. Fiberglass
 - d. Plastic
 - e. Other similar materials that detract from the visual quality of the building.
5. **Lighting:** Awnings should not be backlit.

H6: SPECIAL CIRCUMSTANCES

A. Non- Historic Buildings

1. **Planned Business Guidelines:** Additions, renovation, restoration, and other similar work done to buildings that are not identified as historic in Section H9 should follow the design guidelines established for the Planned Business District, found in Appendix G of the Pendleton Unified Development Ordinance, except where this section specifies otherwise.
2. **Setbacks:** Building setbacks should be as established in Section H2(A)(1).
3. **Bulk Matrix:** Buildings should be subject to the height, bulk, and density standards established for the Downtown Business District in the Town of Pendleton Bulk Matrix in Appendix F of the Pendleton Unified Development Ordinance.

B. Residences Converted to Businesses

1. **Planned Business Guidelines:** Conversions of residential structures for Business uses should follow the design guidelines established for the Planned Business District, found in Appendix G of the Pendleton Unified Development Ordinance, except where this section specifies otherwise.
2. **Setbacks:** Building setbacks should be as established in Section H2(A)(1).
3. **Bulk Matrix:** Buildings should be subject to the height, bulk, and density standards established for the Historic Residential District in the Town of Pendleton Bulk Matrix in Appendix F of the Pendleton Unified Development Ordinance.

C. Demolition

Demolition of buildings within the Pendleton Historic Preservation District must be approved by the Historic Preservation Commission except in cases where there is a threat to the public safety. The purpose of the historic district is to protect historic properties. The demolition of a building which contributes historically or architecturally to the character of the district is inappropriate and shall be avoided. Demolition shall occur where it has been demonstrated that public safety is threatened; if economic hardship has been determined and the demolition is approved by the Historic Preservation Commission; or for buildings or additions which are of a later time and non-contributing to the Historic Preservation District, have lost the original architectural integrity, or do not contribute to the neighborhood's streetscape as determined by the Historic Preservation Commission.

Intent

While many buildings in Downtown Pendleton are recognized as important historic structures in the Madison County Interim Report of the Indiana Historic Sites & Structures Inventory, many others still retain some level of architectural value. As these structures are renovated or added to, their design should complement the overall historic downtown aesthetic. This section identifies the key design guidelines that should apply to structures that fall into this category.

Demolition of existing building shall be permitted if one of the following conditions exist:

- a. Demolition has been ordered by the Building Inspector for the public safety of an unsafe or dangerous condition which constitutes an emergency.
- b. The owner can demonstrate to the satisfaction of the Historic Preservation Commission that the structure cannot be reused nor can a reasonable economic return be gained from the use of all or part of the building proposed for demolition.
- c. The demolition request is for an inappropriate addition, or an incompatible building, and the said demolition of said structure will not adversely affect the streetscape as determined by the Historic Preservation Commission.
- d. The demolition request is a non-contributing portion of a building and the demolition will not adversely affect those parts of the building, which are significant as determined by the Historic Preservation Commission.

H7: FACADE RESTORATION

A. Storefronts & Upper Facades

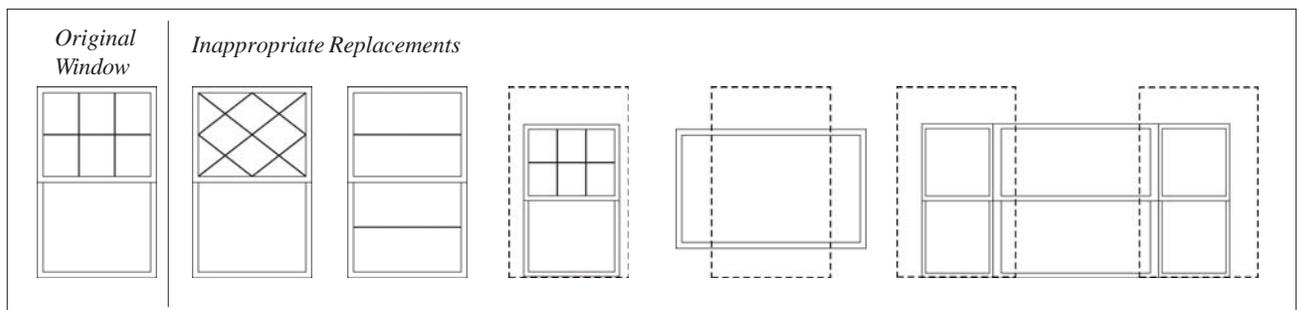
1. **Restoration:** Any renovation, restoration or reconstruction of a storefront should maintain the original proportions, dimensions, elements, opening, and details (See H9: Pendleton Historic Structures Inventory). Original facade elements and details should be retained and repaired whenever possible.
2. **Uncovering Elements:** Historic storefront elements that have been obscured by later remodelling of no architectural or historical significance should be uncovered and restored to approximately their original appearance.
3. **Conjectural Appearance:** If no evidence exists of the original storefront appearance, a conjectural historic appearance should be designed based on:
 - a. The details and features found on neighboring buildings;
 - b. The identified architectural style of the subject building; and
 - c. Historic photos of the subject building.
4. **Mechanical Equipment:** Mechanical equipment, such as fans and air conditioners, should not be introduced into a historic storefront.
5. **Building Setback:** Restored storefronts should not deviate from the original setback of the building or adjacent buildings.
6. **Architectural Style:** Storefronts should not incorporate architectural styles that predate the building or evoke themes that are out of character for the building or streetscape.
7. **Missing Elements:** If a facade element is missing or has deteriorated beyond repair, it should be replaced with a new element that matches the original in design, size, color, texture and other details.

Intent

Downtown Pendleton has a number of historic buildings with unique architectural features. It is important that these features are respected and restored as buildings are renovated for new uses. These guidelines are intended to provide basic standards for the restoration and enhancement of historic building facades in Downtown Pendleton.

C. Windows

1. **Restoration:** The original materials and features of windows should be retained and repaired, including original wood trim.
2. **Missing Elements:** Missing elements such as trim, shutters, or decorative details should not be replaced unless sufficient evidence of their original existence can be found.
3. **Conditions for Replacement:** Window replacement should only be considered when one of the following conditions exists:
 - a. The existing windows are not original and not historically significant; or
 - b. The condition of the existing windows is so deteriorated that repair is not economically feasible.



H7: FACADE RESTORATION (CONTINUED)

4. **Replacement Guidelines:** Window replacement should be subject to the following guidelines:
 - a. Replacement windows should duplicate the originals in design, size, scale, color, texture and other details.
 - b. Window trim should only be replaced if it is deteriorated beyond repair and should be replaced with materials that are compatible with the originals.
 - c. Existing windows should not be replaced with windows that are different in size, dimensions, shape, design, patterns or materials.
5. **Window Openings:** New window openings or alterations to existing window openings, such as enclosure, relocation, reduction or enlargement that alters the scale and proportion of the building should be avoided.

D. Doors

1. **Restoration:** Original doors should be retained and repaired.
2. **Door Replacement:** If a door is deteriorated beyond repair, a replacement door should duplicate the original in design, size, scale, material, color, texture, and other details to the extent possible.
3. **Trim Elements:** Door trim and transom windows should be repaired or reinstalled if there is sufficient evidence of their original existence.
4. **Hardware:** If original hardware (such as hinges, knobs, etc.) is missing from an historic door, it should be replaced with compatible historic hardware or unobtrusive and new hardware.

E. Sidewalls

1. **Preservation:** Evidence of old painted signs or buildings that have been demolished should not be removed from sidewalls or former party walls.
2. **Restoration:** Ornate or elaborately finished sidewalls should be restored in the same manner as front facades.
3. **Modern Features:** Modern features such as canopies or roof structures that have been added to historic sidewalls should be removed as part of the restoration.
4. **New Openings:** New window and door openings may be created in sidewalls or former party walls provided that the new openings are compatible with the historic character and proportions of the building.
5. **Conversion to Facades:** Sidewalls and former party walls should not be finished to appear as original front facades.
6. **Billboards & Signs:** Billboards, large-format signage and logos, should not be placed on sidewalls.

H8: DESIGN DETAILS & MAINTENANCE

A. Masonry

1. **Foundation Replacement:** Whenever partial or total foundation replacement is required, the new foundation walls should be faced in materials that match the original in appearance, preferably through reuse of material from the face of the foundation.
2. **Material Substitution:** In situations where replacement brick or stone is needed, salvaged or new material that closely matches the original in size, color, texture, strength and composition should be used.
3. **Masonry Painting:** In situations where masonry must be repainted, any previous layers of paint should be removed to the extent possible. Masonry should be left in its natural (unpainted) state unless painting the masonry is consistent with the historic treatment of the building.
4. **Masonry Cleaning:** Any cleaning of masonry should be done with the gentlest methods possible, and should be stopped at the first evidence of damage to the masonry.

B. Stucco

1. **Evaluation:** Prior to removing or repairing any stucco, a small test patch should be evaluated by a registered architect to determine the feasibility of such removal or repair. Stucco removal should only proceed if it is determined that the underlying material is still of significant historical value and quality, and that such material will not be substantially damaged by the stucco removal process.
2. **Removal:** In situations where damaged stucco must be removed, it should be completely removed through chemical or manual means, taking care to protect the underlying historic material.
3. **Repair:** Stucco may be repaired by removing the damaged material and patching with new stucco that duplicates the old in strength, composition, color and texture.

C. Synthetic Siding

1. **Use Discouraged:** The following materials should not be used to cover historic facades:
 - a. Aluminum
 - b. Vinyl
 - c. Other similar synthetic materials
2. **Removal:** Synthetic siding materials should be removed from historic buildings and the underlying historic facades restored.

Intent

This section is intended to provide guidance for the renovation and maintenance of certain design details that may be present on existing Downtown buildings. This includes items such as roof forms, building materials, and ornamentation. In restoring buildings, efforts should be made to save existing historic materials and features as much as possible. Generally, care should be taken to study and understand the architectural characteristics of a structure before any work occurs.

Note:

While roof forms should primarily follow the guidelines in this section, it may be appropriate for public or cultural buildings to deviate from the standards in order to create a unique and attractive public space.

H8: DESIGN DETAILS & MAINTENANCE (CONTINUED)

D. Roofs

1. **Roof Restoration:** When roofs or roof elements are restored, the original components and forms should be retained and repaired.
2. **Slate Roof Repairs:** The repair and restoration of slate roofs should use the following guidelines:
 - a. Original slate should be repaired rather than replaced.
 - b. New or imitation slate may be used if the original slate cannot be repaired.
 - c. Asphalt or fiberglass shingles that are similar in pattern and color to the original slate may be used if replacement with new slate is not economically feasible.
3. **Flat Roof Repairs:** The repair and restoration of flat roofs should use the following guidelines:
 - a. A flat roof that is not visible from the ground may be repaired or re-roofed with any material provided it remains obscured from view.
 - b. A slope may be added to a problematic flat roof if it is not visible from the ground or does not affect the character of the building.
4. **Slope Alterations:** Roof slope and shape should not be altered unless past inappropriate alterations are being reversed.
5. **Dormers & Skylights:** Dormers and skylights should not be added to roof areas that are significant to the historic character of the building.
6. **Mechanical Equipment:** Mechanical equipment, such as roof vents, new metal chimneys, solar panels, television antennae/satellite dishes, or air conditioning units, should not be placed where they could be seen from the street or affect the character of the building.

E. Trim & Ornamentation

1. **Preservation:** Original cornice, trim and decorative elements should be retained and repaired, even if worn or damaged.
2. **Missing Details:** Missing decorative details may be replaced if sufficient evidence of their original existence can be found.
3. **Replacement Materials:** New materials that must be used to replace damaged detail pieces should have the same characteristics as the originals.
4. **Incompatible Elements:** Elements that represent different construction periods, methods, styles, or innovations not compatible with the original building should not be used.
5. **False Historical Details:** Ornamentation that is foreign to a building or has no evidence of prior existing should not be applied, and original ornamentation elements should not be covered up or removed.
6. **Location:** Trim and ornamentation should not be added to parts of a building on which they did not originally exist.

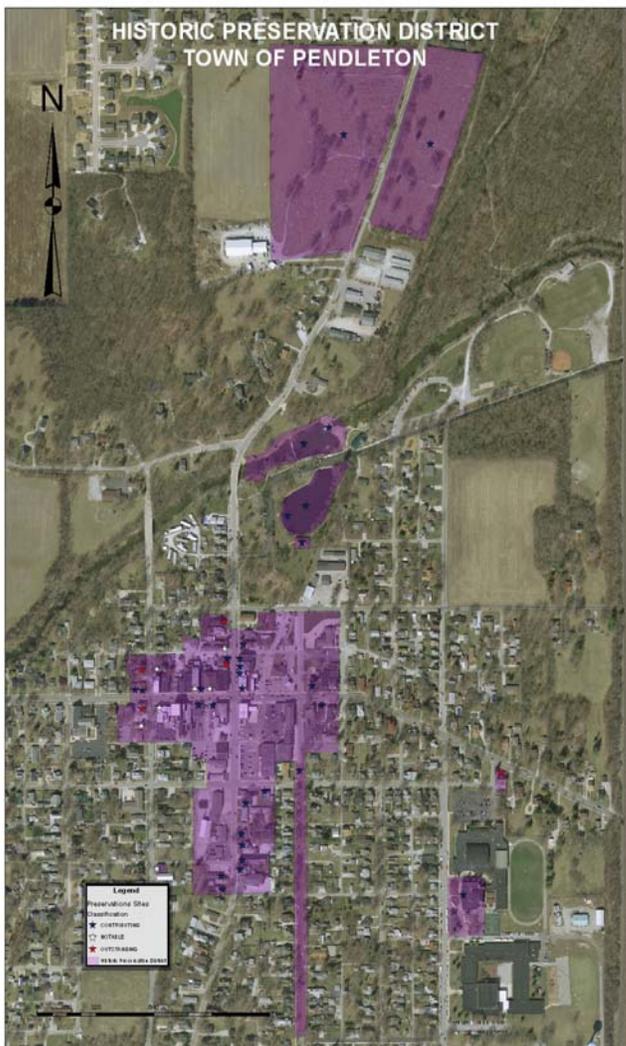
H9: PENDLETON HISTORIC STRUCTURES INVENTORY

A. General Standards

The following section identifies historic structures that contribute significantly to the character and identity of Downtown Pendleton. These structures should be protected from alterations that may damage their historic value. Accordingly, a set of guidelines has been established for each identified building that outlines several key elements to be addressed when that building is renovated. It should be noted that the list of key elements that accompanies each designated building is not exhaustive. More detailed studies by professionals with expertise in historic preservation should be undertaken before changes are made. While renovations of the identified buildings should follow the guidelines provided, if a building owner can provide evidence that proposed changes to a building are in keeping with its historic architectural treatments, such evidence may take precedence over the guidelines found in this section.

B. Significant Structures Map & Inventory

The map below correspond with the structure inventory on the following pages. See page 55 for a larger view.



Intent

One of the most important purposes of the Historic Preservation District Design Guidelines is to promote the preservation of existing historic structures. This section is intended to help property owners identify the architectural styles of their buildings, and to provide assistance in appropriately rehabilitating the structures. Further information on this topic can be found in the Secretary of The Interior's Standards for Rehabilitation.

For further assistance with historic preservation projects, contact:

*DNR-Division of Historic Preservation & Archaeology
 402 W. Washington Street, W 274
 Indianapolis, IN 46204
 317.232.1646
 dhpa@dnr.in.gov*

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

1

100 West State Street*Nineteenth Century Functional (c.1900)***Key Renovation Guidelines**

1. Retain brick work detail, do not paint.
2. Clean brick and limestone. Repoint with appropriate mortar material and color as necessary.
3. Remove fluted columns and first floor window surrounds. Replace with more appropriate design.
4. Restore original window openings on first floor and replace windows with more appropriate design.
5. Restore second floor window openings, install appropriate window design.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**102 West State Street***Nineteenth Century Functional (c.1900)*

2

**Key Renovation Guidelines**

1. Retain brick work detail, do not paint.
2. Clean brick and limestone. Repoint with appropriate mortar material and color as necessary.
3. Remove vertical wood siding on first floor to expose brick. Repair & repoint brick as necessary.
4. Remove wood shake awning and replace with more appropriate design such as fabric.
5. Restore original first floor window & door openings, install appropriate window & door design.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

3

104-108 West State Street*Italianate (c.1890)***Key Renovation Guidelines**

1. Retain brick work detail, remove paint by gentlest means possible. Do not sandblast.
2. Clean brick and limestone. Repoint with appropriate mortar material and color as necessary.
3. Replace stone application below storefront windows with brick to match existing above.
4. Replace green and red awnings and replace with more appropriate design such as fabric similar to the red stripe in size and placement.
5. Repair decorative columns and repaint.
6. Retain existing transom above doors.
7. Retain & repair as necessary all metal details.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**110 West State Street***Italianate (c.1900)*

4

**Key Renovation Guidelines**

1. Retain brick work detail, remove paint by gentlest means possible. Do not sandblast.
2. Retain & clean limestone. Repoint as necessary.
3. Retain door & window openings. Retain & repair doors as necessary. Reopen transom above doors.
4. Move wire anchored signage to more appropriate location with less intrusive attachment system.
5. Retain brick parapet.
6. Investigate missing application in limestone inset.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

5

114 West State Street*Romanesque Revival (c.1910)***Key Renovation Guidelines**

1. Retain brick work detail, remove paint by gentlest means possible. Do not sandblast.
2. Clean brick and limestone. Repoint with appropriate mortar material and color as necessary.
3. Retain storefront layout, windows and door.
4. Retain and repair as necessary transom above storefront windows. This is an appropriate signage location.
5. Replace left entry door and transom with more appropriate design.
6. Retain and repair as necessary second floor, one-over-one windows with arched transoms.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**122-124 West State Street***Italianate (c.1890)*

6

**Key Renovation Guidelines**

1. Remove stucco from brick.
2. Remove paint from brick by gentlest means possible. Do not sandblast.
3. Retain storefront layout, windows and door openings. Replace doors with appropriate design.
4. Retain brackets, repair as necessary.
5. Replace wood shake awning with more appropriate material if awning is necessary. If possible remove awnings and restore storefront transom.
6. Restore original window openings on the second floor and install appropriately designed windows.
7. Remove signage and replace with less intrusive attachment system.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

7

126-128 West State Street*Romanesque Revival (c.1890)***Key Renovation Guidelines**

1. Remove stucco from brick. Restore brick face and brick corbeling detail at roof line.
2. Remove paint from brick by gentlest means possible. Do not sandblast.
3. Retain storefront layout, windows and door openings. Replace doors with appropriate design.
4. Replace wood shake awning with more appropriate material if awning is necessary. If possible remove awnings and restore storefront transom.
5. Restore original window openings on the second floor and install appropriately designed windows.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**200 West State Street***Bungalow (c.1920)*

8

**Key Renovation Guidelines**

1. Repoint brick with appropriate mortar, color & formula. Do not paint brick.
2. Repair and restore wood eaves and brackets.
3. Replace gutters.
4. Retain and repair as necessary original divided light one-over-one wood windows.
5. Repair stone foundation as necessary.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

9

206 West State Street*Gothic/Greek Revival (c.1870)***Key Renovation Guidelines**

1. Remove inappropriate front porch and replace with appropriate roof pitch and style.
2. Restore window in front gable dormer.
3. Replace windows on first floor with appropriate size and style. One-over-one or two-over-two would be appropriate.
4. Replace wide wood siding on first floor with smaller scale siding like that found in gabled dormer.
5. Restore the vergeboard decorative gable trim.
6. Restore window hoods to first floor similar to that found in gabled dormer.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**107 West State Street***Carpenter-Builder (c.1900)*

10

**Key Renovation Guidelines**

1. Remove vertical wood siding, restore original facing material.
2. Remove wood shake awning and replace if necessary with more appropriate size and material.
3. Retain storefront layout, windows and door.
4. Replace door and window with more appropriate style.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

11

115 West State Street*Renaissance Revival (c.1900)***Key Renovation Guidelines**

1. Replace new brick on first floor to match original brick color, mortar & pattern on the second.
2. Clean and repair brick & limestone by gentlest means possible. Do not sandblast.
3. Restore original window and door openings on the first floor.
4. Replace awning with more appropriate material and size if awning is necessary. If possible, remove awnings and restore original facade.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**121 West State Street**

Nineteenth Century Functional (c.1890)

12

**Key Renovation Guidelines**

1. Clean brick and limestone with gentlest means possible.
2. Remove paint from brick and limestone by gentlest means possible. Do not sandblast.
3. Remove wood shake infill and restore original storefront layout, windows and door openings. Replace doors with appropriate design.
4. Remove existing signage and replace with more appropriate design.
5. Restore original window openings on the second floor and install appropriately designed windows.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

13

123-125 West State Street*Nineteenth Century Functional (c.1893)***Key Renovation Guidelines**

1. Remove stucco from brick. Restore brick face and brick corbeling detail at roof line.
2. Retain storefront layout, windows and door openings. Replace doors with appropriate design.
3. Clean limestone and repair as necessary.
4. Replace wood shake awning with more appropriate material if awning is necessary. If possible remove awnings and restore storefront transom.
5. Restore original window openings on the second and third floors and install appropriately designed windows.
6. Remove signage and replace with less intrusive attachment system.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**137 West State Street***Art Deco (c.1936)*

14

Key Renovation Guidelines

1. Clean brick and limestone, repoint as necessary. Retain brick color and pattern.
2. Retain storefront layout, windows and door openings. Replace doors with appropriate design.
3. Remove paint from foundation with gentlest means possible.
4. Retain window openings.
5. Retain signage style.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

15

101-103 East State Street*Romanesque Revival (c.1900)***Key Renovation Guidelines**

1. Clean brick & limestone by gentlest means possible. Do not sandblast.
2. Repoint brick with appropriate material and color.
3. Retain window openings and storefront system on State Street.
4. Remove large awning on State Street and replace with smaller size to uncover the storefront transom.
5. Replace wood shake awning with more appropriate material and size if awning is necessary. If possible, remove awnings and restore original facade.
6. Repair parapet and coping.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**201 East State Street***Carpenter-Builder (c.1920)*

16

**Key Renovation Guidelines**

1. Restore original window openings. Replace windows with appropriate size and style for time period such as one-over-one or two-over-two.
2. If shutters are found to be should be original to the house, they should be sized appropriately for windows.
3. Porch above entry is not original and has changed the roof line of the house.
4. Front door should be replaced with appropriate style.
5. Replace modern siding with appropriate material and scale.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

17

204 East State Street*Carpenter-Builder (c.1920)***Key Renovation Guidelines**

1. Remove replacement siding and restore original material and scale.
2. Replace windows with appropriate style such as one-over-one or two-over-two. Restore window surround with appropriate design.
3. Replace modern front door with appropriate design.
4. Research front porch configuration and details. (Railing, posts, and front gable)
5. Research possible loss of front gable architectural detail.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**111 North Pendleton Avenue***Greek Revival (c.1840)*

18

**Key Renovation Guidelines**

1. Remove vertical siding below first floor windows and surrounding entry door. Research appropriate replacement.
2. Repair metal cornice between the first and second floor.
3. Reopen transom above entry door.
4. Retain & repair wood siding in gable.
5. Retain and repair wood columns.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

19

117 North Pendleton Avenue*Italianate (c.1890)***Key Renovation Guidelines**

1. Retain, repaint and repair as necessary wood siding.
2. Retain brackets and cornice.
3. Retain storefront layout, windows and door.
4. Retain and repair as necessary porch structure and first floor wood pilasters.
5. Retain and repair as necessary second floor, one-over-one windows and surrounds.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**106 North Pendleton Avenue***Romanesque Revival (c.1870)*

20

**Key Renovation Guidelines**

1. Retain brick work detail, remove paint by gentlest means possible. Do not sandblast.
2. Repoint with appropriate mortar material and color as necessary.
3. Remove vertical wood siding on first floor to restore original brick.
4. Remove wood shake awning and replace with more appropriate design such as fabric.
5. Restore all original window and door openings. Restore original storefront configuration.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

21

108 North Pendleton Avenue*Romanesque Revival (c.1890)***Key Renovation Guidelines**

1. Retain stone work detail, remove paint by gentlest means possible. Do not sandblast.
2. Clean and repair stone. Repoint with appropriate mortar material and color as necessary.
3. Remove shutters.
4. Remove vertical wood siding to restore stone face.
5. Restore original storefront window and door configuration.
6. Replace awning with a more appropriate material and size if awning is necessary. If possible remove awning and restore original facade.
7. Retain and restore existing wood windows.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**118 North Pendleton Avenue***Carpenter-Builder (c.1900)*

22

**Key Renovation Guidelines**

1. Remove modern siding, restore original face material.
2. Remove awnings.
3. Research original porch and cornice details/decoration.
4. Retain original window openings- size, shape and locations.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

23

221 South Pendleton Avenue

Carpenter-Builder (c.1920)



Key Renovation Guidelines

1. Retain, repaint and repair as necessary wood siding. Siding width and material are significant features.
2. Retain form of plan along with cross gable roof, porch and architectural details such as second story porch railing, applied decorative trim, and window & door trim.
3. Retain window configuration as one-over one and bay window.
4. Retain and repair as necessary existing porch structure, columns, and details.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**231 South Pendleton Avenue***Twentieth Century Functional (c.1900)*

24

**Key Renovation Guidelines**

1. Remove paint from brick by gentlest means possible. Do not sandblast.
2. Restore storefront layout, windows and door openings with appropriate design.
3. Repoint brick with appropriate material and color as necessary.
4. Replace awning with more appropriate material if awning is necessary. If possible remove awnings and restore storefront transom.
5. Relocate air conditioner unit to side or back of building.
6. Remove signage and replace with more appropriate design.
7. Retain and repair as necessary parapet wall and coping.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

25

119 South Main Street*Italianate (c.1880)***Key Renovation Guidelines**

1. Retain, repaint and repair as necessary wood siding. Siding width and material are significant features.
2. Retain form of plan along with hipped roof, porch and architectural details such as porch posts, applied decorative trim, and window & door trim.
3. Retain window size, shape and locations. Retain the two-over-two configuration.
4. Remove existing center window on second floor and restore original window size, shape and configuration.
5. Research and restore former architectural details along cornice at roof line.
6. Research possible loss of cupola or cresting along top of hipped roofline.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**125 South Main Street***Carpenter-Builder (c.1890)*

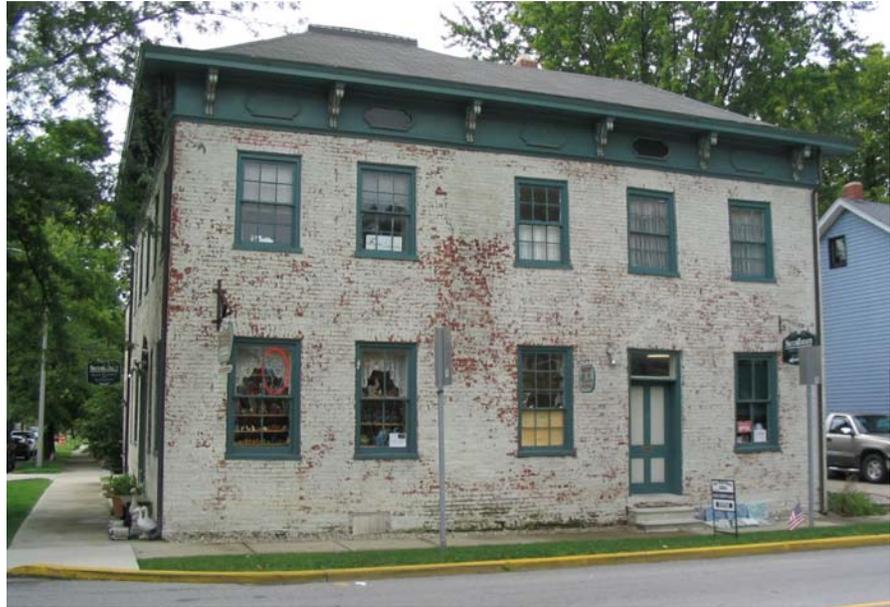
26

**Key Renovation Guidelines**

1. Retain, repaint and repair as necessary wood siding. Siding width and material are significant features.
2. Retain form of plan along with multi-gabled roof, porch and architectural details such as window & door trim.
3. Retain window size, shape and locations. Retain the one-over-one configuration.
4. Replace porch railing and posts with more appropriate design.
5. Research authenticity of first floor arched top window.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

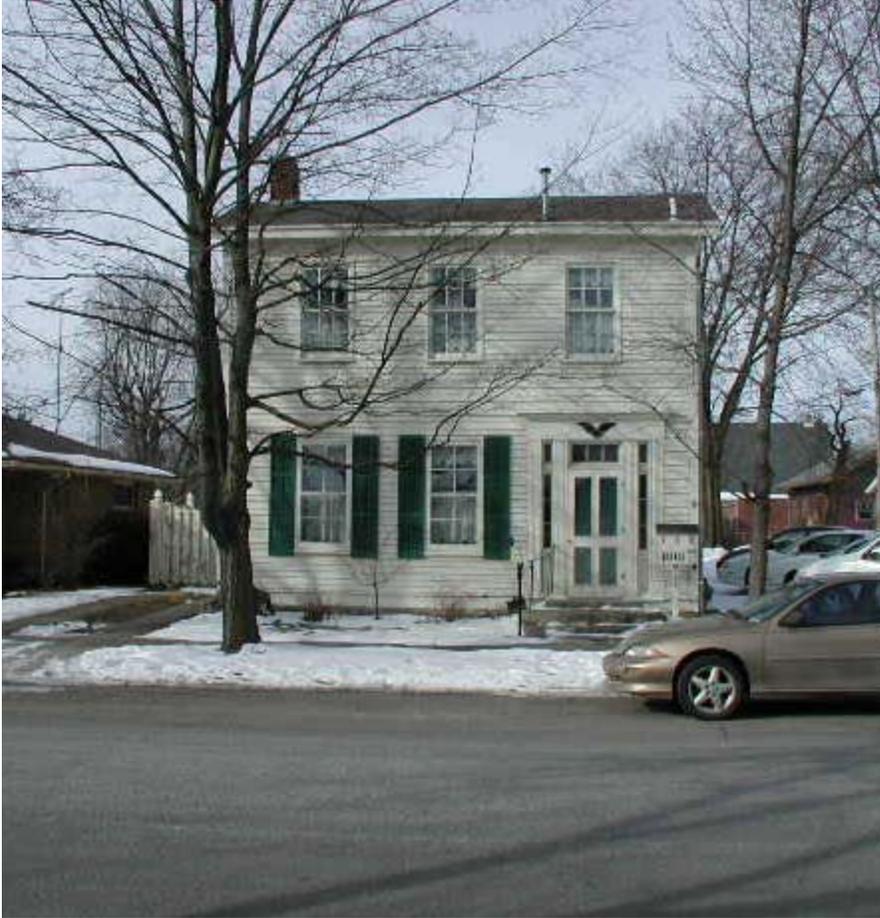
27

100 South Main Street*Greek Revival/Italianate (c.1860)***Key Renovation Guidelines**

1. Remove paint from brick by gentlest means possible. Do not sandblast.
2. Repoint brick with appropriate mortar material and color as necessary.
3. Retain & repair wood windows, cornice and brackets.
4. Retain and restore as necessary window configuration of two-over-two on first floor and six-over-six on second floor.
5. Retain entrance openings and door type with transom.
6. Repair foundation with like material.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**108 South Main Street***Federal / Greek Revival (c.1840)*

28

**Key Renovation Guidelines**

1. Retain, repair and repaint wood siding.
2. Retain second floor windows - size, location, and six-over-six configuration.
3. First floor windows were most likely six-over-six.
4. Restore shutters to second floor windows.
5. Retain entrance opening, surround, sidelights and transom.
6. Retain low pitched side gabled roofline.
7. Research possible loss of cornice detail along roofline and second chimney.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)

29

110 North Main Street*Queen Anne (c.1870)***Key Renovation Guidelines**

1. Repoint brick with appropriate mortar, color & formula. Do not paint brick.
2. Retain & repair as necessary wood eaves, gable ornament and brackets on eaves.
3. Retain bay stained glass window.
4. Retain and repair as necessary original one-over-one wood windows.
5. Retain wrap around porch form and columns design. Do not enclose.
6. Repair stone foundation as necessary.

H9: PENDLETON HISTORIC STRUCTURES INVENTORY (CONTINUED)**111 North Main Street***Federal / Greek Revival (c.1840)*

30

**Key Renovation Guidelines**

1. Remove paint on brick by gentlest means possible. Do not sandblast. Repoint brick with appropriate mortar, color & formula.
2. Retain & repair as necessary wood windows, and cornice.
3. Remove ivy growth from brick face.
4. Repair as necessary and retain window configuration of nine-over-nine on first floor and six-over-six on second floor.
5. Remove applied material on chimney to restore brick face.
6. Repair stone foundation as necessary and remove plant growth.
7. Research appropriate shutter style.
8. Retain and repair parapet as necessary.
9. Retain entry configuration with balcony above.

31

301 South East Street

Neo-Classic, (1936) Built by WPA



Key Renovation Guidelines

Falls Park

Brick Shelter House, (c. 1930) Built by WPA



Key Renovation Guidelines

33

Falls Park

Light House and Pond



Falls Park

Falls on Fall Creek

34



35

Falls Park

Swimming Pool in Fall Creek (c. 1930)



Grovelawn Cemetary

36



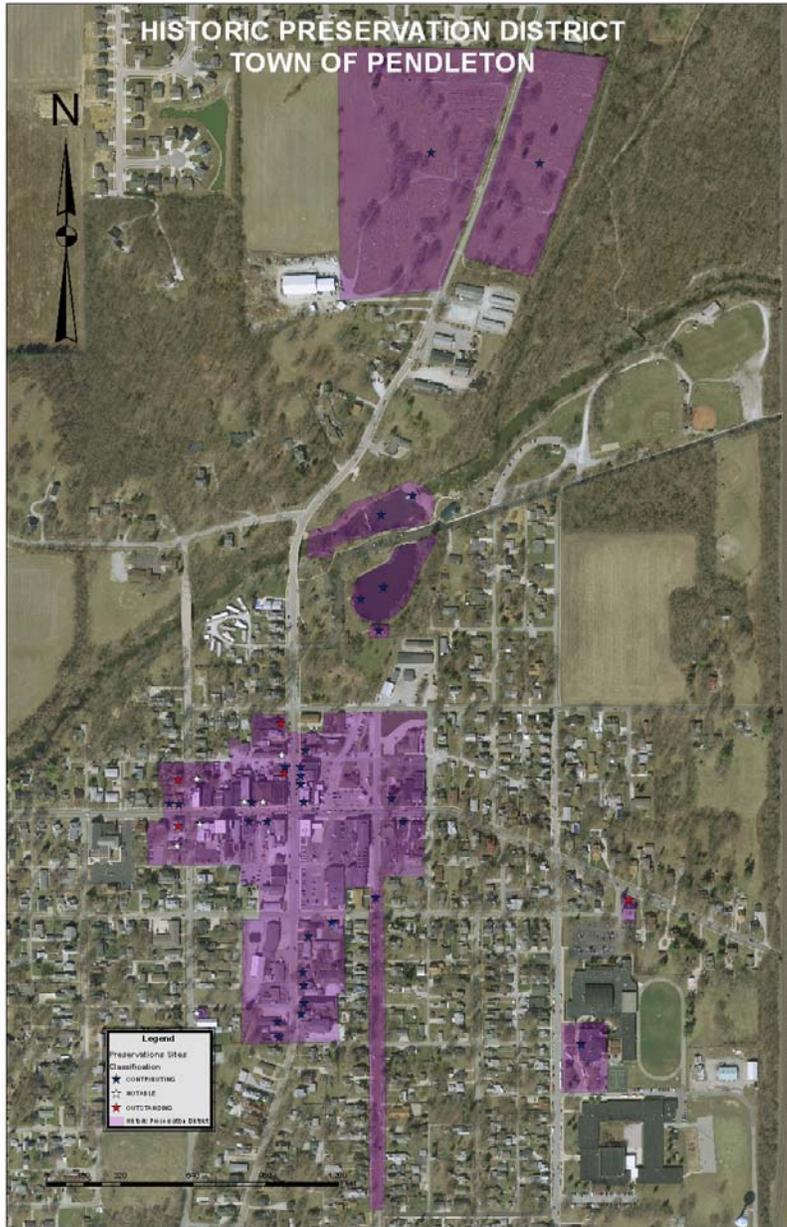
54

South Broadway

Brick Street (c. 1900)



Historic Preservation District



Historic Preservation District Sites

Historic Preservation District Sites

Address	Description	Classification
301 SOUTH EAST STREET	NEO-CLASSIC SCHOOL BUILT BY WPA 1936	CONTRIBUTING
FALLS PARK	LARGE SHELTER HOUSE BUILT BY WPA	CONTRIBUTING
FALLS PARK	LIGHT HOUSE IN POND	CONTRIBUTING
FALLS PARK	POND	CONTRIBUTING
FALLS PARK	FALL CREEK WATER FALLS	CONTRIBUTING
FALLS PARK	OLD SWIMMING POOL AND FALL CREEK	CONTRIBUTING
113 NORTH PENDLETON AVENUE	19TH CENTURY FUNCTIONAL COMMERCIAL BUILDING C.1890	CONTRIBUTING
106 NORTH PENDLETON AVENUE	ROMANESQUE REVIVAL COMMERCIAL BUILDING C.1870	CONTRIBUTING
108 NORTH PENDLETON AVENUE	ROMANESQUE REVIVAL COMMERCIAL BUILDING C.1890	CONTRIBUTING
114 NORTH PENDLETON AVENUE	19TH CENTURY FUNCTIONAL COMMERCIAL BUILDING C.1890	CONTRIBUTING
118 NORTH PENDLETON AVENUE	CARPENTER BUILDER HOUSE C.1890	CONTRIBUTING
101-103 WEST STATE STREET	ROMANESQUE REVIVAL JT CHAMBERS BUILDING C.1900	CONTRIBUTING
201 WEST STATE STREET	CARPENTER BUILDER HOUSE C.1920	CONTRIBUTING
201 WEST STATE STREET	CARPENTER BUILDER HOUSE C.1920	CONTRIBUTING
107 WEST STATE STREET	CARPENTER BUILDER COMMERCIAL BUILDING C.1900	CONTRIBUTING
115 WEST STATE STREET	RENAISSANCE REVIVAL COMMERCIAL BUILDING C.1900	CONTRIBUTING
206 WEST STATE STREET	GREEK REVIVAL GOTHIC REVIVAL HOUSE C.1870	CONTRIBUTING
200 WEST STATE STREET	BUNGALOW HOUSE C.1920	CONTRIBUTING
110 WEST STATE STREET	ITALIANATE COMMERCIAL C.1900	CONTRIBUTING
240 SOUTH PENDLETON AVENUE	CARPENTER BUILDER HOUSE C.1900	CONTRIBUTING
234 SOUTH PENDLETON AVENUE	MODERN COMMERCIAL BUILDING C.1934	CONTRIBUTING
205 SOUTH PENDLETON AVENUE	CARPENTER BUILDER HOUSE C.1880	CONTRIBUTING
112 EAST HIGH STREET	CARPENTER BUILDER HOUSE C.1900	CONTRIBUTING
221 SOUTH PENDLETON AVENUE	CARPENTER BUILDER HOUSE C.1920	CONTRIBUTING
227 SOUTH PENDLETON AVENUE	CARPENTER BUILDER HOUSE C.1900	CONTRIBUTING
231 SOUTH PENDLETON AVENUE	20TH CENTURY FUNCTIONAL COMMERCIAL	CONTRIBUTING

Address	Description	Classification
117 NORTH PENDLETON AVENUE	ITALIANATE COMMERCIAL BUILDING C.1890	NOTABLE
137 WEST STATE STREET	ART DECO POST OFFICE BUILT BY WPA 1936	NOTABLE
114 WEST STATE STREET	ROMANESQUE REVIVAL K of P BLDG. C.1910	NOTABLE
104-108 WEST STATE STREET	ITALIANATE COMMERCIAL I.O.O.F. BLDG C.1890	NOTABLE
110 SOUTH MAIN STREET (108)	GREEK REVIVAL HOUSE C.1860	NOTABLE
110 NORTH MAIN STREET	QUEEN ANNE HOUSE C.1870	NOTABLE
233 SOUTH MAIN STREET	FEDERAL HOUSE C.1850	NOTABLE
424 EAST STATE STREET	CAREGIE PUBLIC LIBRARY ARTS AND CRAFTS C.1912	OUTSTANDING
131 NORTH PENDLETON AVENUE	ITALIANATE HOUSE C.1890	OUTSTANDING
111 NORTH PENDLETON AVENUE	GREEK REVIVAL COMMERCIAL BUILDING C.1840	OUTSTANDING
100 SOUTH MAIN STREET	GREEK REVIVAL ITALIANATE HOUDE C.1860	OUTSTANDING
111 NORTH MAIN STREET	FEDERAL INN C.1840	OUTSTANDING

